



**SAN MATEO COUNTY SCHOOLS
INSURANCE GROUP**

—A Public Entity—

Winter Season Protocol

**Brisbane School District
1 Solano Street Brisbane, CA 94005**

District School Sites:

Brisbane Elementary
500 San Bruno Avenue Brisbane, CA 94005-1671

Lipman Middle
1 Solano Street Brisbane, CA 94005-1342

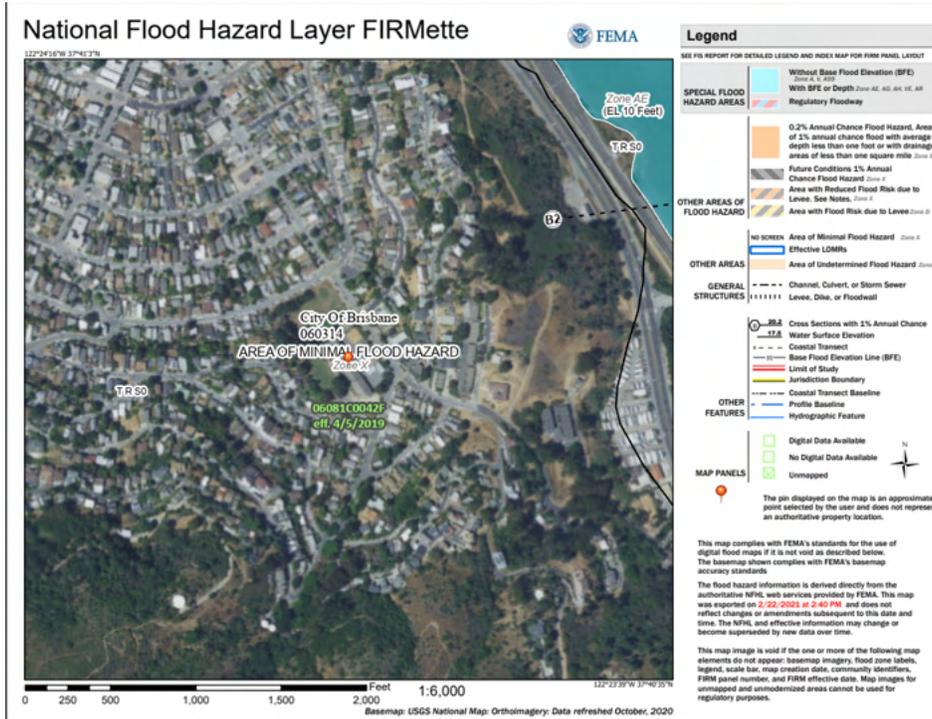
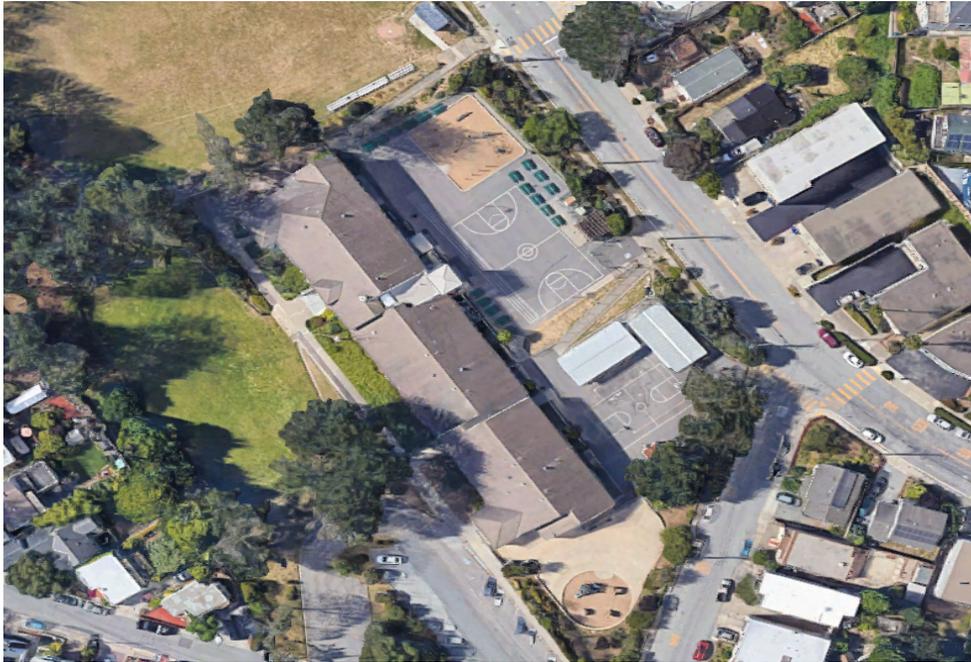
Panorama Elementary
25 Bellevue Avenue Daly City, CA 94014-1423

FEMA Flood Map Legend

PIN	 <p>Approximate location based on user input and does not represent an authoritative property location</p>	<p>SPECIAL FLOOD HAZARD AREAS</p>  Without Base Flood Elevation (BFE) <i>Zone A, V, A99</i>  With BFE or Depth  Regulatory Floodway <i>Zone AE, AO, AH</i>
MAP PANELS	 Selected FloodMap Boundary  Digital Data Available  No Digital Data Available  Unmapped	 0.2% Annual Chance Flood Hazard, of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile :  Future Conditions 1% Annual Chance Flood Hazard <i>Zone X</i>  Area with Reduced Flood Risk due to Levee. See Notes. <i>Zone X</i> ST  Area with Flood Risk due to Levee <i>Zone D</i>
OTHER AREAS	 Area of Minimal Flood Hazard <i>Zone X</i>  Effective LOMRs  Area of Undetermined Flood Hazard :  Otherwise Protected Area  Coastal Barrier Resource System Area	<p>OTHER AREAS OF FLOOD HAZARD</p>
OTHER FEATURES	 20.2 Cross Sections with 1% Annual Chance  17.5 Water Surface Elevation  Coastal Transect  Base Flood Elevation Line (BFE)  Limit of Study  Jurisdiction Boundary  Coastal Transect Baseline  Profile Baseline  Hydrographic Feature	
GENERAL STRUCTURES	 Channel, Culvert, or Storm Sewer  Levee, Dike, or Floodwall	

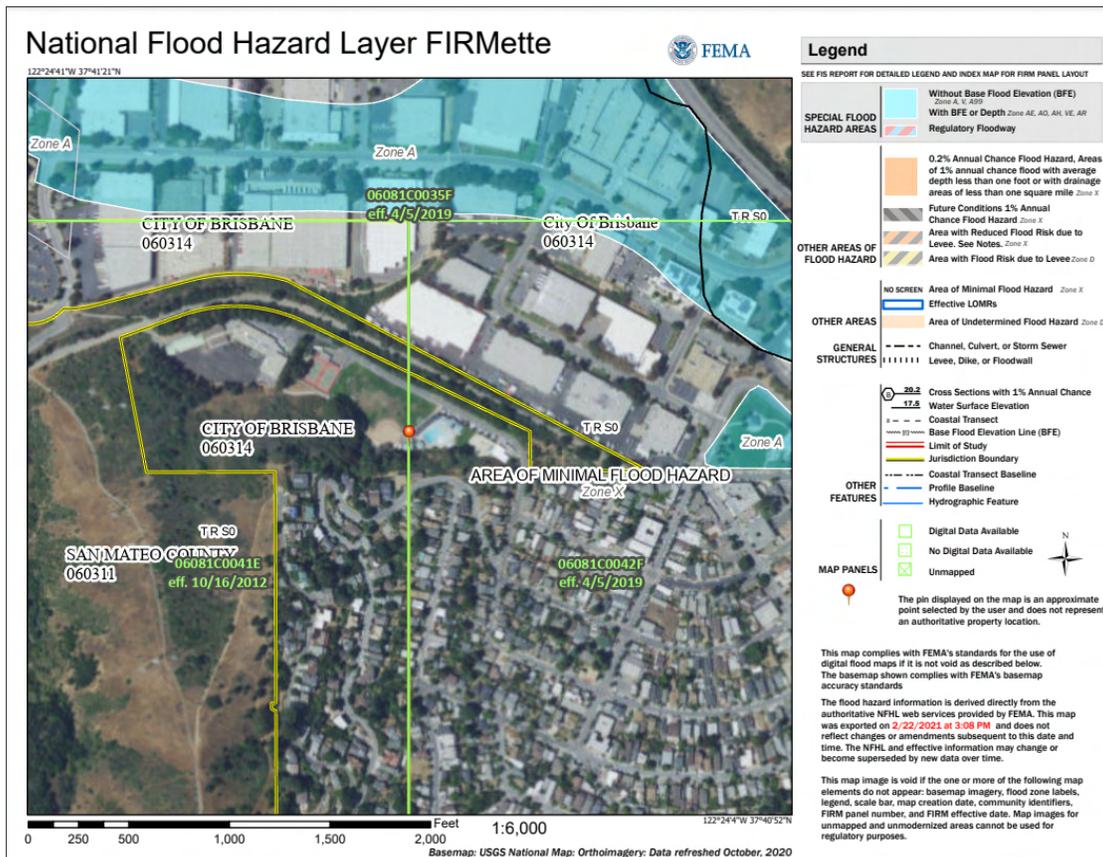
Brisbane Elementary

Brisbane Elementary is not located within a FEMA flood zone. This does not indicate that the school is free from flood risk. Ensure that the school is consistently being checked year round. Inspecting the buildings for any signs of cracks or damage that could cause a flood. Also, check the roofing to make sure there are no cracks or damage as well. Have an arborist come in and check trees. Ensure there are no trip and fall hazards that may cause issues during the Winter season.



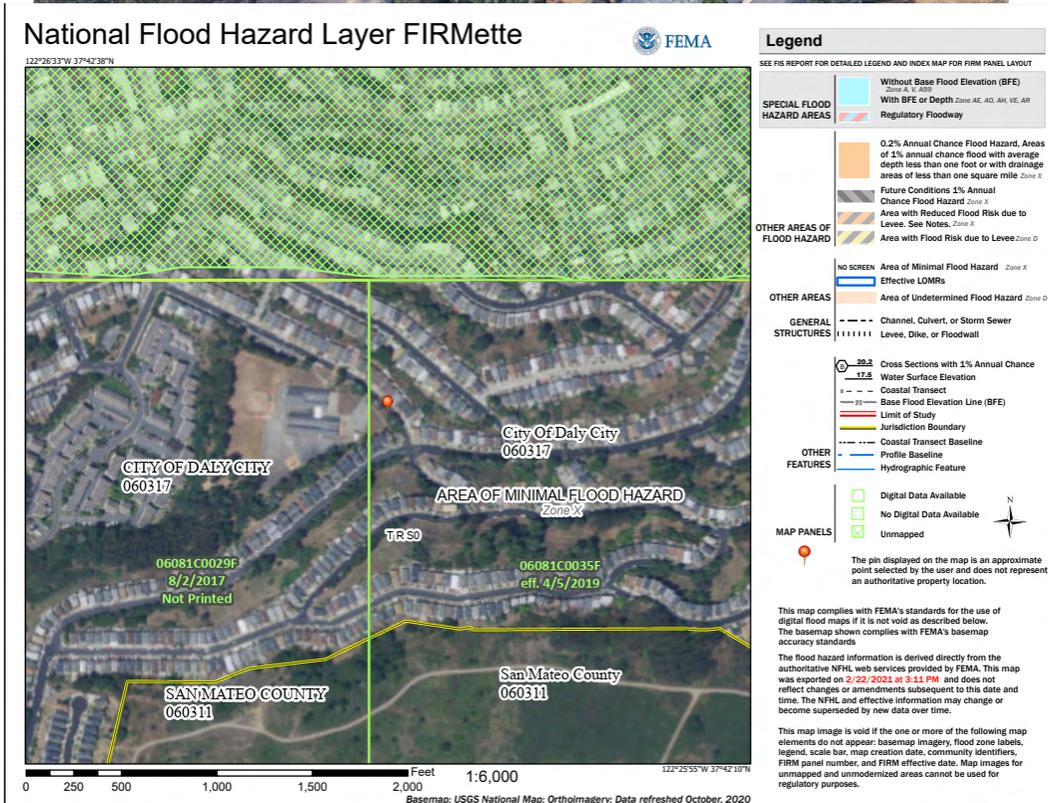
Lipman Middle

Lipman Middle is not located within a FEMA flood zone. This does not indicate that the school is free from flood risk. Ensure that the school is consistently being checked year round. Inspecting the buildings for any signs of cracks or damage that could cause a flood. Also, check the roofing to make sure there are no cracks or damage as well. Have an arborist come in and check trees. Ensure there are no trip and fall hazards that may cause issues during the Winter season.



Panorama Elementary

Panorama Elementary is not located within a FEMA flood zone. This does not indicate that the school is free from flood risk. Ensure that the school is consistently being checked year round. Inspecting the buildings for any signs of cracks or damage that could cause a flood. Also, check the roofing to make sure there are no cracks or damage as well. Have an arborist come in and check trees. Ensure there are no trip and fall hazards that may cause issues during the Winter season.



Items recommended to be completed in July:

Building/Surfaces:

- Inspect campus sidewalks, playgrounds & paved areas.
- Identify and address trip/fall hazards.
- Check pavement for cracks, fill cracks and apply seal coat.

Roofing:

- Roofs need to be inspected at least twice a year. Clear gutters to avoid buildup of debris, inspect mounted equipment, roof surface inspection.
- Remove growing plant life from roofs.

Trees/Plants:

- Prune trees and shrubs. Make sure they do not conduct moisture to the roof or siding.
- Establish and maintain a tree maintenance schedule.
- Remove/cutback overhanging tree limbs.
- Retain an arborist to assess the condition of trees.

Pipes/Gutters:

- Check for clogging in drains by flushing them with water.
- Ensure gutters are anchored.

HVAC:

- Fire-test water heaters and boilers.
- Make sure ventilation is clear.

Items recommended to be completed in August:

Building/Surfaces:

- Patch/Repair potholes, uneven surfaces.
- Inspect condition of paint for buildings, repaint as necessary.
- Check fencing to ensure it is weather proofed.
- Inspect condition of walls, floors, ceilings. Check for signs of mold and moisture.
- Check for signs of leaks.

Pipes/Gutters:

- Check the drains' connection with the sanitary sewer.
- Identify ownership of easements, hillside and city sewer line connections.

Plants/Trees:

- Keep weeds to a minimum.
- Remove dead plants.
- Check tree branches and make sure none are about to fall.
- Remove rotted limbs, cut back overgrowth.
- Inspect for roots exposed above ground.

Preparedness:

- Start FIT plan.
- Prepare a flood response plan.

Items recommended to be completed in September:

Pipes/Gutters:

- Ensure sump and sewage ejection pumps are functioning.
- Monitor plumbing for leaks and strange noises at least once a year.
- Clear gutters of debris.
- Service sewer lines.
- Inspect exposed lines for deterioration, corrosion, leaks etc.

Preparedness:

- Establish and maintain sandbag reserves for emergency use.

Building/Surfaces:

- Seal/patch open and obvious cracks in exterior walls..
- Check window locks and open/close properly and easily. Lubricate hinges and locking mechanisms.

Roofing:

- Inspect roof systems for cracks, deterioration and/or openings.
- Check the roof for standing water (during rainy season).

Items recommended to be completed in October:

Building/Surfaces:

- Window/door sealant protection.
- Inspect roof systems for cracks, deterioration and/or openings.
- Check for broken doors/windows.
- Check for signs of leaks.
- Check and test aging gas lines.

HVAC:

- Change the furnace filter.
- Maintain heat in storage & “abandoned” buildings.

Pipes/Gutters:

- Clear gutters of debris.
- Verify shut off valves are working properly.
- Insulate pipes before Winter begins.
- Identify and insulate pipes in areas where pipes are susceptible to freezing.

Plants/Trees:

- Prune trees and shrubs. Make sure they do not conduct moisture to the roof or siding.

Preparedness:

- Prepare for the predicted Winter season.

Items recommended to be completed in November/December:

Pipes/Gutters:

- Inspect stormwater drains.
- Make sure low water shut-off is functioning properly.

Building/Surfaces:

- Inspect locks/doors for weather proofing.
- Check pavement for cracks, fill cracks and apply seal coat.
- Check the condition of sidewalk, driveway, parking areas. Replace coating every 10 years

HVAC:

- Fire-test water heaters and boilers.
- Check furnace/heating units before winter use.
- Check/service carbon monoxide and smoke detectors.

Roofing:

- Check the roof for standing water (during rainy season).
- Identify cracks on the roof.
- Remove growing plant life.
- Seal perimeter of roof to prevent water intrusion (flat roofs, tar & gravel, foam roofing materials).