



**SAN MATEO COUNTY SCHOOLS
INSURANCE GROUP**

—A Public Entity—

Winter Season Protocol

**Cabrillo Unified
498 Kelly Avenue Half Moon Bay, CA 94019.**

District School Sites:

Kings Mountain Elementary
211 Swett Road Woodside, CA 94062-4709

Cunha Intermediate
600 Church Street Half Moon Bay, CA 94019-1904

El Granada Elementary
400 Santiago Avenue Half Moon Bay, CA 94019-5003

Farallone View Elementary
250 LeConte and Kanoff Montara, CA 94037

Half Moon Bay High School
1 Lewis Foster Drive Half Moon Bay, CA 94019-1795

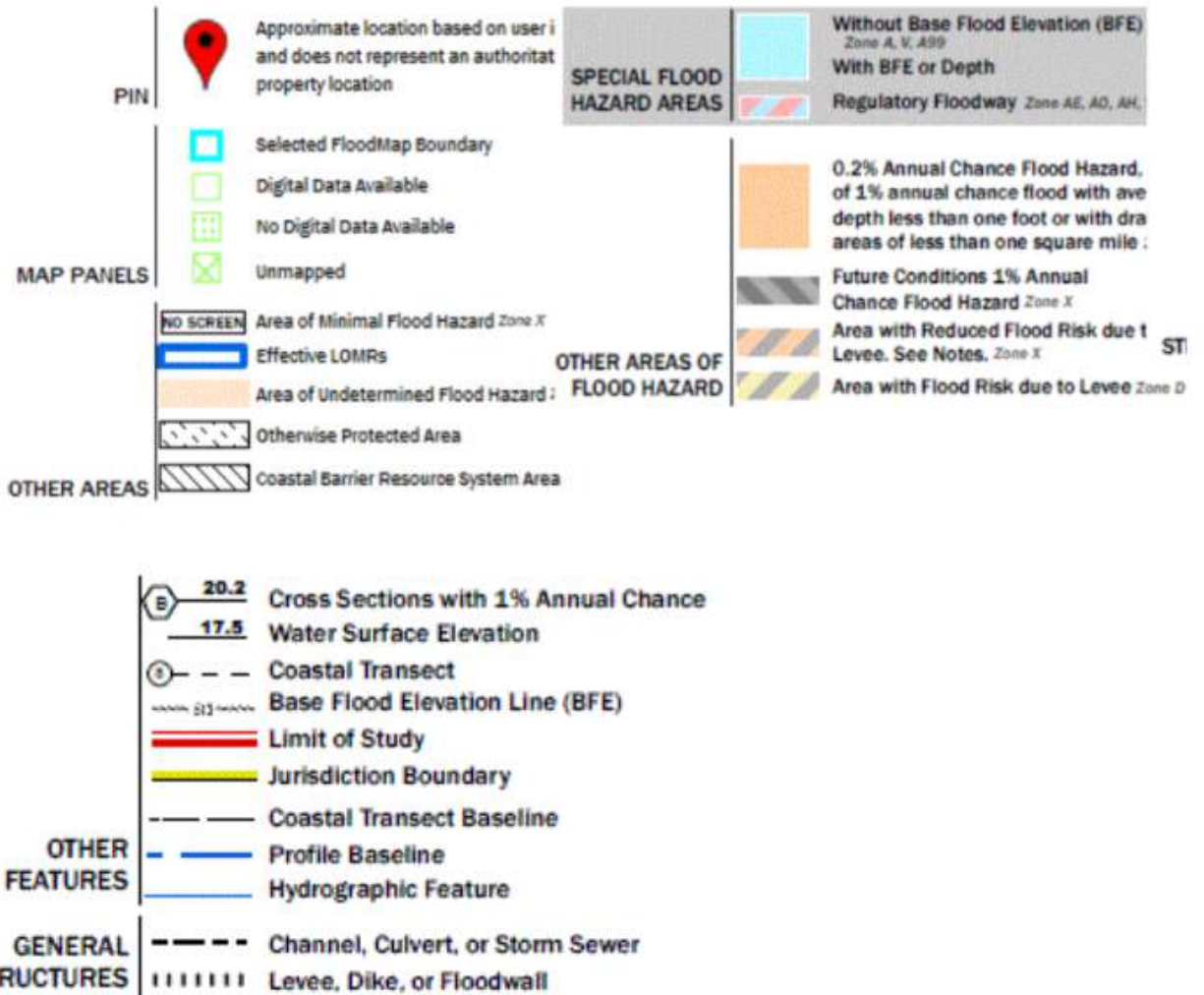
Hatch (Alvin S.) Elementary
490 Miramontes Street Half Moon Bay, CA 94019-1824

La Costa Adult School
498 Kelly Avenue Half Moon Bay, CA 94019-6102

Pilarcitos Alternative High
498 Kelly Avenue Half Moon Bay, CA 94019-6102

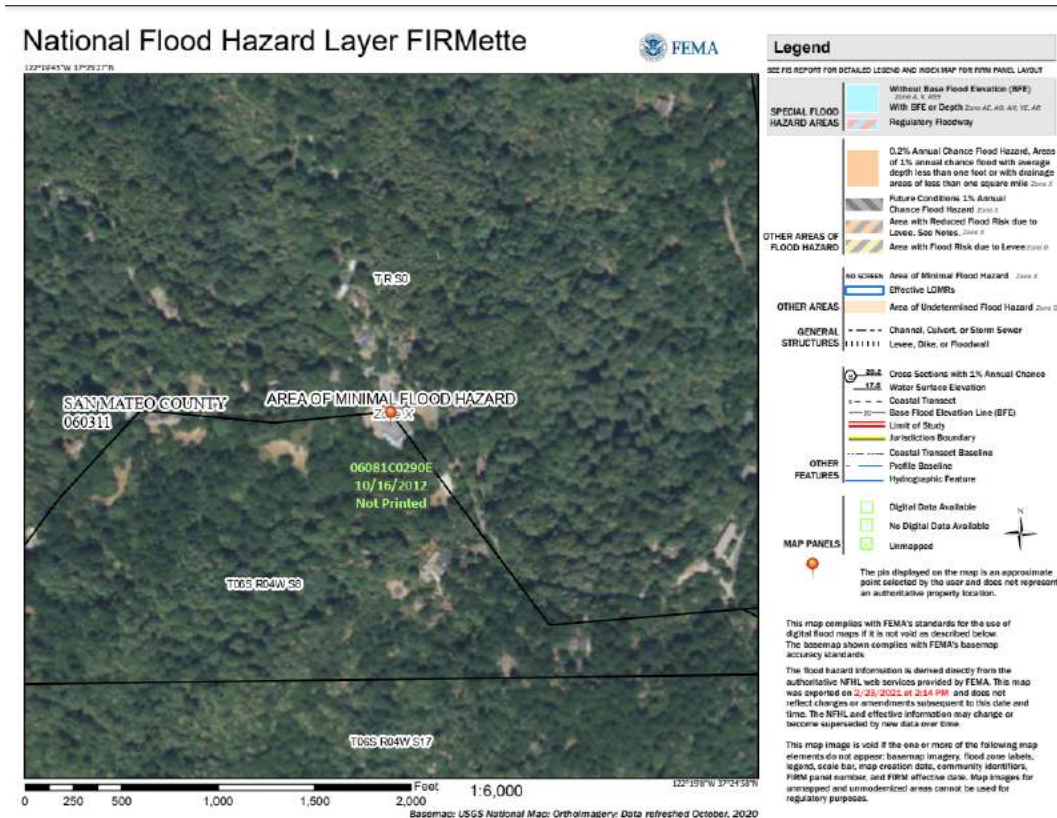
Updated May 21, 2021

FEMA Flood Map Legend



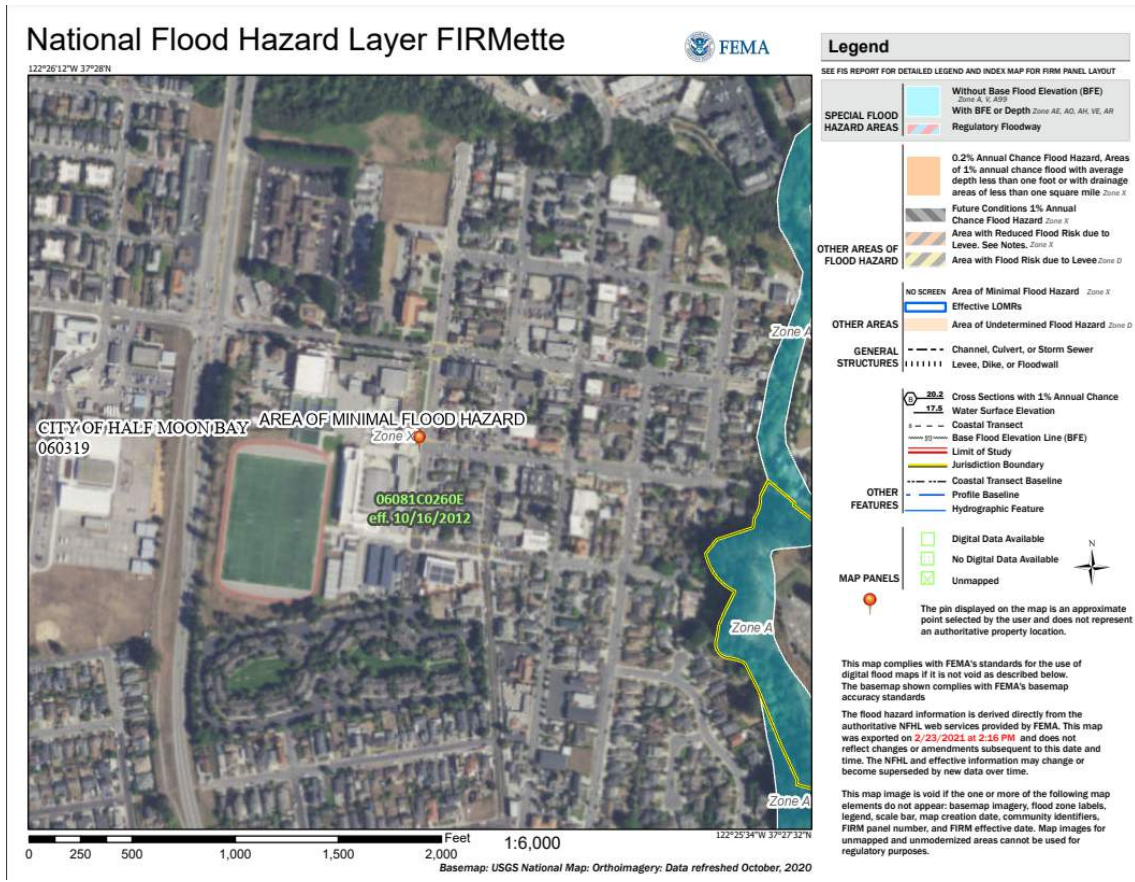
Kings Mountain Elementary

Kings Mountain Elementary is not located within a FEMA flood zone. That does not indicate a school is free of flood risk. The campus is located on top of a mountain. Keep the campus clear of hazards. Check the campus buildings for signs of cracks or damage that may cause flooding. Also inspect the roofing for the buildings. Also have an arborist in to check campus trees. Ensure there aren't trip and fall hazards.



Cunha Intermediate

Cunha Intermediate is not located within a flood zone as indicated by FEMA. Ensure an arborist is coming out to inspect the campus. Inspect the buildings to make sure none are showing signs of deterioration. Also inspect the roofing of the buildings to look out for signs of cracks or damage.



El Granada Elementary

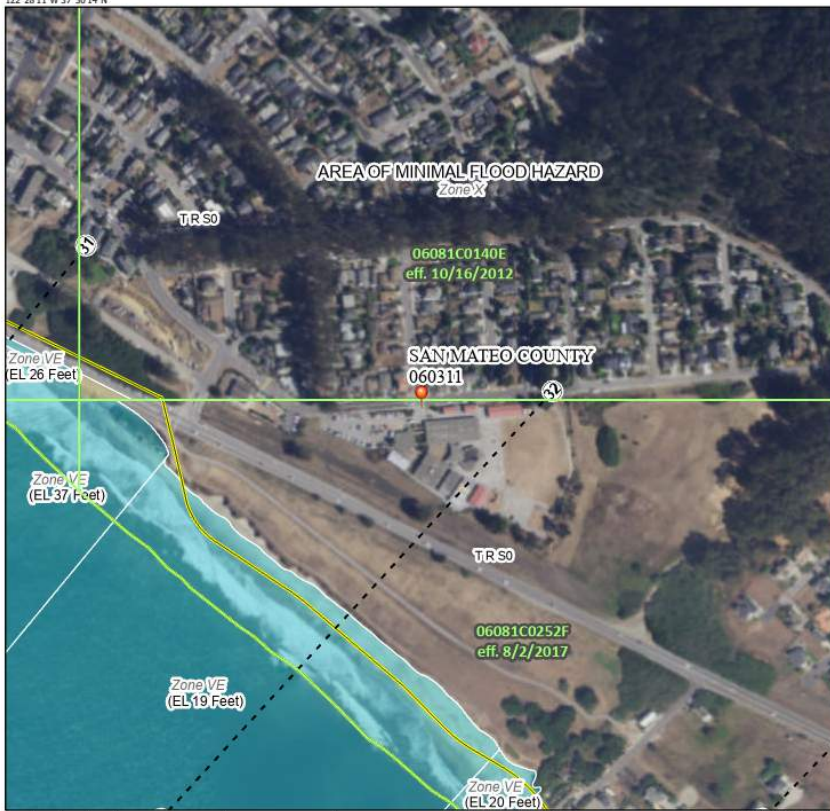
El Granada Elementary is not located within an indicated FEMA flood zone location. The campus is located on a hill, so it does not have increased risk related to that factor. It is also located near the ocean. It is recommended for the school to have an arborist come out and inspect the trees the campus maintains. Make sure to check the buildings for any signs of deterioration or cracks. Roofing should also be inspected to make sure there are no risks to flooding.



National Flood Hazard Layer FIRMette



122°28'11"W 37°30'14"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	
	Without Base Flood Elevation (BFE) Zone A, V, AE, AR
	With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD	
	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future Conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levee. See Notes, Zone X
	Area with Flood Risk due to Levee Zone D
OTHER AREAS	
	NO SCREEN Area of Minimal Flood Hazard Zone X
	Effective LOMRs
	Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES	
	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall
OTHER FEATURES	
	20.2 17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
	Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature
MAP PANELS	
	Digital Data Available
	No Digital Data Available
	Unmapped
	The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 2/23/2021 at 2:21 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmoderized areas cannot be used for regulatory purposes.

Farallone View Elementary

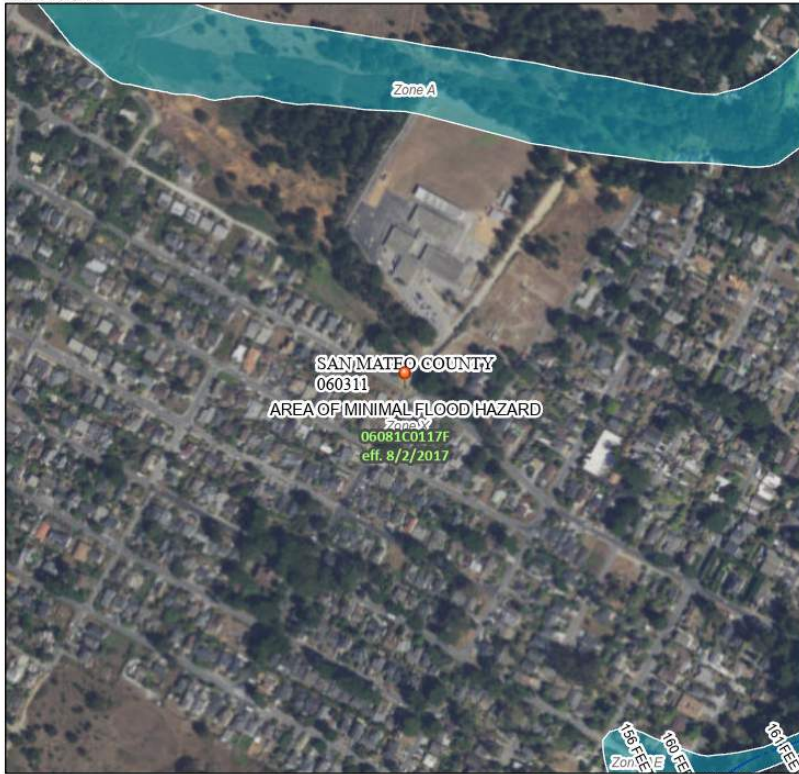
Farallone View is not located within a FEMA flood zone. However, it does not indicate the school is free from hazards. Inspect buildings to ensure they are not showing signs of cracks or deterioration. Also inspect the roofing to look for signs of damage. Check for signs of mold on the walls. Have an arborist come in to inspect the school.



National Flood Hazard Layer FIRMette



122°30'49"W 37°32'47"N



SAN MATEO COUNTY
060311
AREA OF MINIMAL FLOOD HAZARD
Zoned
06081C0117F
eff. 8/2/2017

0 250 500 1,000 1,500 2,000 Feet 1:6,000
Basemap: USGS National Map; Orthoimagery: Data refreshed October, 2020

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- SPECIAL FLOOD HAZARD AREAS**
- Without Base Flood Elevation (BFE) Zone A, X, AE, AR
 - With BFE or Depth Zone AE, AO, AH, VE, AR
 - Regulatory Floodway

- OTHER AREAS OF FLOOD HAZARD**
- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
 - Future Conditions 1% Annual Chance Flood Hazard Zone X
 - Area with Reduced Flood Risk due to Levee. See Notes. Zone X
 - Area with Flood Risk due to Levee Zone D

- OTHER AREAS**
- NO SCREEN Area of Minimal Flood Hazard Zone X
 - Effective LOMRs
 - Area of Undetermined Flood Hazard Zone D

- GENERAL STRUCTURES**
- Channel, Culvert, or Storm Sewer
 - Levee, Dike, or Floodwall

- CROSS SECTIONS**
- Cross Sections with 1% Annual Chance Water Surface Elevation
 - Coastal Transect
 - Base Flood Elevation Line (BFE)
 - Limit of Study
 - Jurisdiction Boundary

- OTHER FEATURES**
- Coastal Transect Baseline
 - Profile Baseline
 - Hydrographic Feature

- MAP PANELS**
- Digital Data Available
 - No Digital Data Available
 - Unmapped



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Half Moon Bay High School

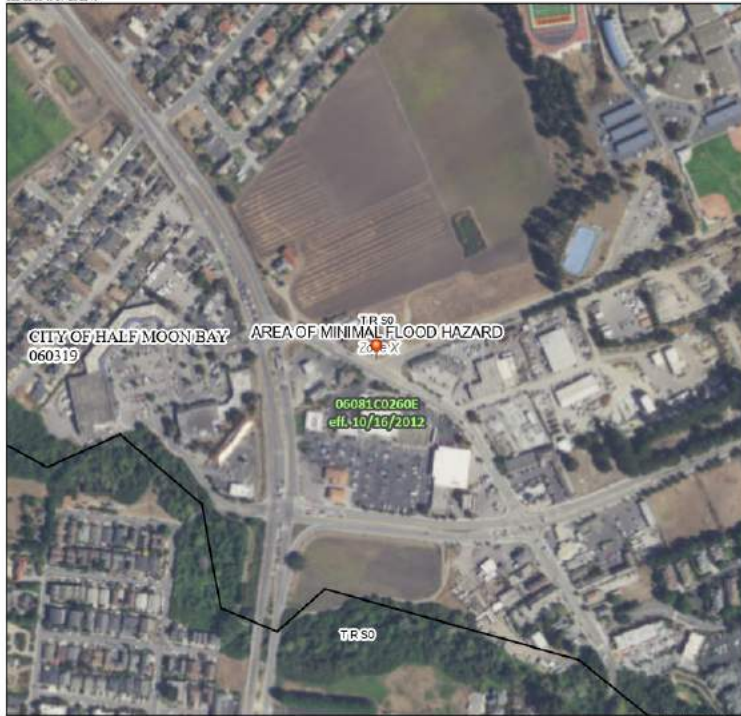
Half Moon Bay is not located within a FEMA flood zone. However, it does not indicate the school is free from hazards. The campus is located on a higher elevation. Inspect buildings to ensure they are not showing signs of cracks or deterioration. Also inspect the roofing to look for signs of damage. Check for signs of mold on the walls. This campus is located on top of a hill. Have an arborist come in to inspect the school.



National Flood Hazard Layer FIRMette



32°26'15"W 122°21'25"W



Legend

SEE PDF REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- SPECIAL FLOOD HAZARD AREAS**
 - Without Base Flood Elevation (BFE) Zone A, V, AE
 - With BFE or Depth Zone AC, AE, AH, XE, XZ, AR
 - Regulatory Floodway
- OTHER AREAS OF FLOOD HAZARD**
 - 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
 - Future Conditions 1% Annual Chance Flood Hazard Zone F
 - Area with Reduced Flood Risk due to Levee, See Notes Zone R
 - Area with Flood Risk due to Levee Zone D
- OTHER AREAS**
 - Area of Minimal Flood Hazard Zone E
 - Effective LOMR
 - Area of Unstated Flood Hazard Zone U
- GENERAL STRUCTURES**
 - Channel, Culvert, or Storm Sewer
 - Levee, Dike, or Floodwall
- OTHER FEATURES**
 - Cross Sections with 1% Annual Chance Water Surface Elevation
 - Coastal Truncet
 - Base Flood Elevation Line (BFE)
 - Limit of Study
 - Jurisdiction Boundary
 - Coastal Truncet Baseline
 - Profile Baseline
 - Hydrographic Feature
- MAP PANELS**
 - Digital Data Available
 - No Digital Data Available
 - Unmapped

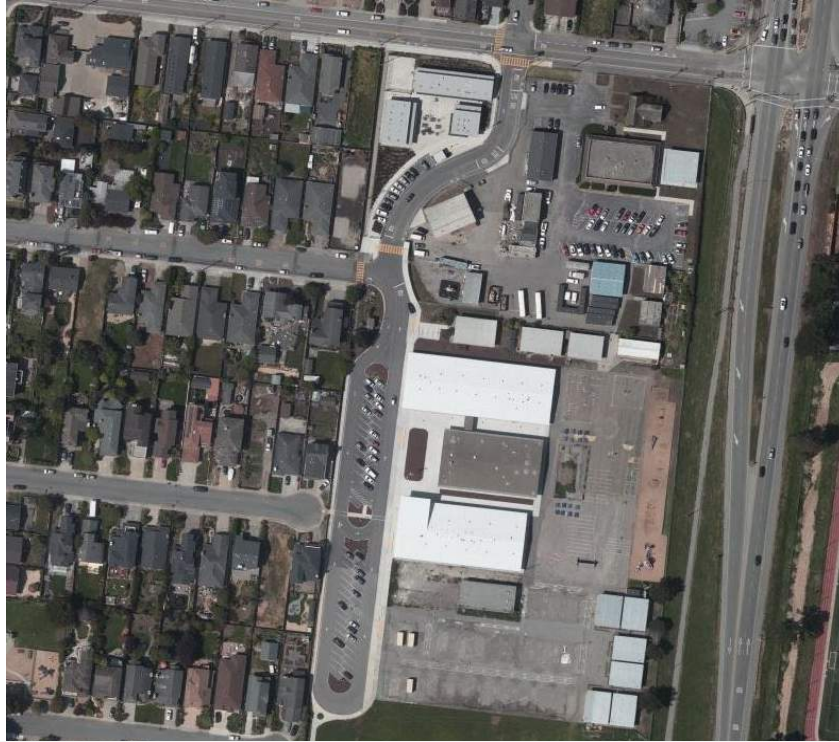
The map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 2/25/2021 at 2:37 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

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Hatch Elementary

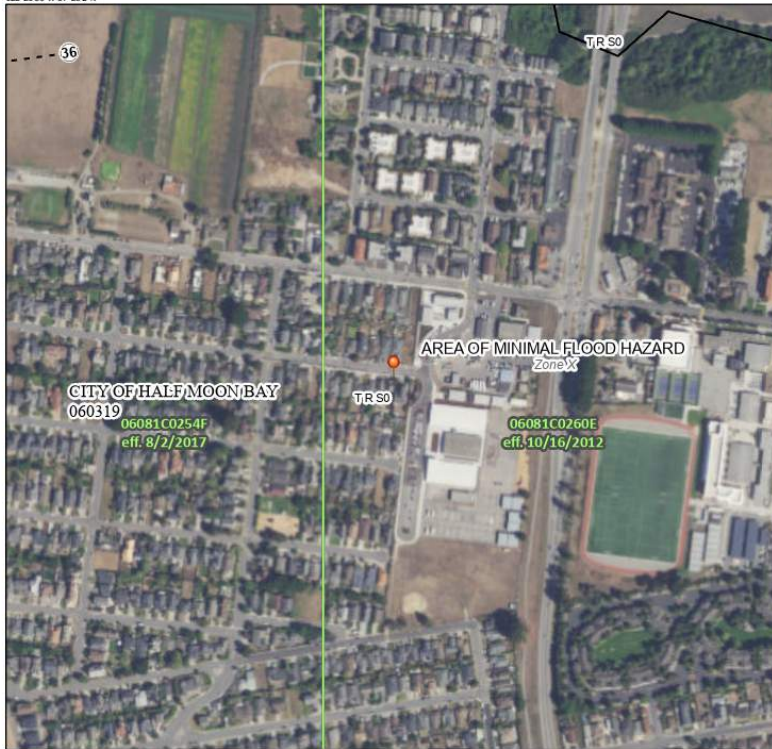
Hatch Elementary is not located within a FEMA flood zone. This does not mean that the school is free from flood hazards. Inspect buildings to ensure they are not showing signs of cracks or deterioration. Also inspect the roofing to look for signs of damage. Check for signs of mold on the walls. Ensure there are no trip and fall hazards located around the campus.



National Flood Hazard Layer FIRMette



122°26'30"W 37°28'2"N



0 250 500 1,000 1,500 2,000 Feet 1:6,000
 Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

- SPECIAL FLOOD HAZARD AREAS**
- Without Base Flood Elevation (BFE) Zone A, V, AE, AH
 - With BFE or Depth Zone AE, AO, AH, VE, AR
 - Regulatory Floodway

- OTHER AREAS OF FLOOD HAZARD**
- 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
 - Future Conditions 1% Annual Chance Flood Hazard Zone X
 - Area with Reduced Flood Risk due to Levee. See Notes. Zone X
 - Area with Flood Risk due to Levee Zone D

- OTHER AREAS**
- NO SCREEN Area of Minimal Flood Hazard Zone X
 - Effective LOMRs
 - Area of Undetermined Flood Hazard Zone D

- GENERAL STRUCTURES**
- Channel, Culvert, or Storm Sewer
 - Levee, Dike, or Floodwall

- OTHER FEATURES**
- Cross Sections with 1% Annual Chance Water Surface Elevation
 - Coastal Transect
 - Base Flood Elevation Line (BFE)
 - Limit of Study
 - Jurisdiction Boundary
 - Coastal Transect Baseline
 - Profile Baseline
 - Hydrographic Feature

- MAP PANELS**
- Digital Data Available
 - No Digital Data Available
 - Unmapped

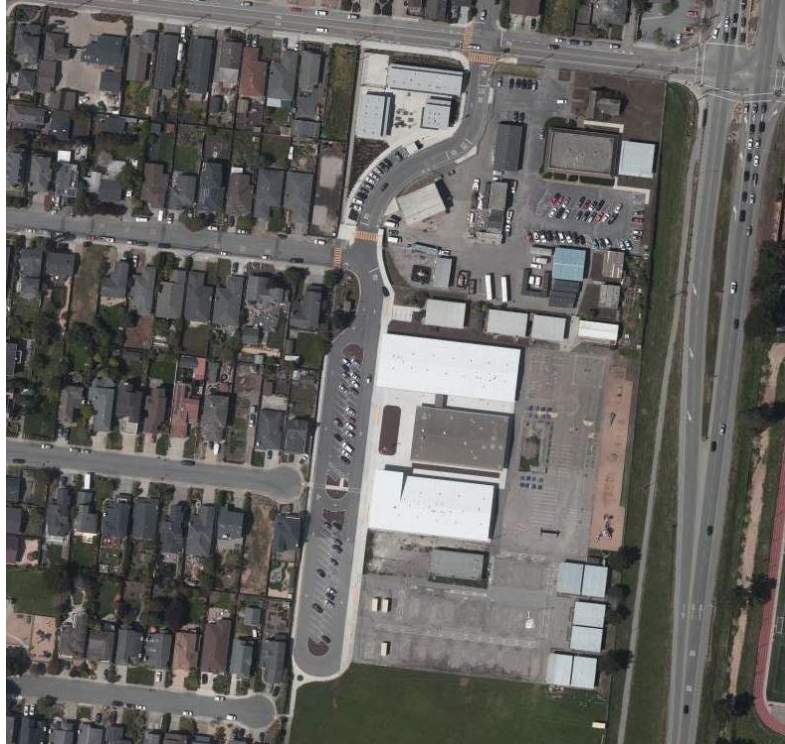
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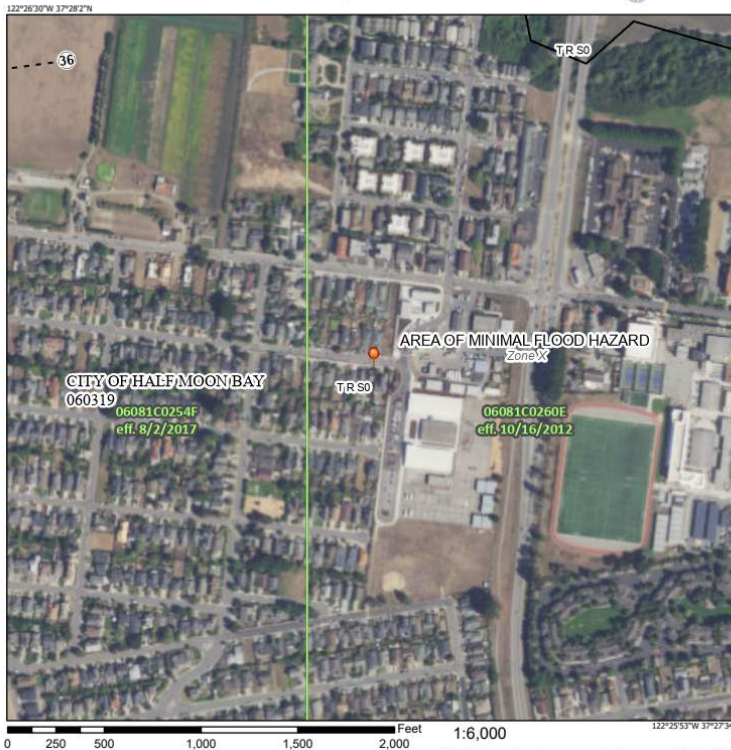
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Pilarcitos Alternative / La Costa Adult School

Pilarcitos Alternative and La Costa Adult School are not located within a FEMA flood zone. This does not mean that the school is free from flood hazards. Inspect buildings to ensure they are not showing signs of cracks or deterioration. Also inspect the roofing to look for signs of damage. Check for signs of mold on the walls. Ensure there are no trip and fall hazards located around the campus.



National Flood Hazard Layer FIRMette



Legend

- SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT
- SPECIAL FLOOD HAZARD AREAS**
 - Without Base Flood Elevation (BFE) Zone A, B, C, D, E
 - With BFE or Depth Zone AE, AD, AH, VE, AR
 - Regulatory Floodway
 - OTHER AREAS OF FLOOD HAZARD**
 - 0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
 - Future Conditions 1% Annual Chance Flood Hazard Zone X
 - Area with Reduced Flood Risk due to Levee. See Notes. Zone X
 - Area with Flood Risk due to Levee Zone D
 - OTHER AREAS**
 - Area of Minimal Flood Hazard Zone X
 - Effective LOMRs
 - Area of Undetermined Flood Hazard Zone D
 - GENERAL STRUCTURES**
 - Channel, Culvert, or Storm Sewer
 - Levee, Dike, or Floodwall
 - OTHER FEATURES**
 - Cross Sections with 1% Annual Chance Water Surface Elevation
 - Coastal Transect
 - Base Flood Elevation Line (BFE)
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Items recommended to be completed in July

Building/Surfaces:

- Inspect campus sidewalks, playgrounds & paved areas.
- Identify and address trip/fall hazards.
- Check pavement for cracks, fill cracks and apply seal coat.

Roofing:

- Roofs need to be inspected at least twice a year. Clear gutters to avoid buildup of debris, inspect mounted equipment, roof surface inspection.
- Remove growing plant life from roofs.

Trees/Plants:

- Prune trees and shrubs. Make sure they do not conduct moisture to the roof or siding.
- Establish and maintain a tree maintenance schedule.
- Remove/cutback overhanging tree limbs.
- Retain an arborist to assess the condition of trees.

Pipes/Gutters:

- Check for clogging in drains by flushing them with water.
- Ensure gutters are anchored.
- Map storm drains.

HVAC:

- Fire-test water heaters and boilers.
- Make sure ventilation is clear.

Items recommended to be completed in August

Building/Surfaces:

- Patch/Repair potholes, uneven surfaces.
- Inspect the condition of paint for buildings, repaint as necessary.
- Check fencing to ensure it is weather proofed.
- Inspect the condition of walls, floors, ceilings. Check for signs of mold and moisture.
- Check for signs of leaks.

Pipes/Gutters:

- Check the drains' connection with the sanitary sewer.
- Identify ownership of easements, hillside, and city sewer line connections.
- Keep weeds to a minimum.
- Remove dead plants.
- Check tree branches and make sure none are about to fall.
- Remove rotted limbs, cut back overgrowth.
- Inspect for roots exposed above ground.

Preparedness:

- Start a FIT plan.
- Prepare a flood response plan.

Items recommended to be completed in September

Pipes/Gutters:

- Ensure sump and sewage ejection pumps are functioning.
- Monitor plumbing for leaks and strange noises at least once a year.
- Clear gutters of debris.
- Service sewer lines.
- Inspect exposed lines for deterioration, corrosion, leaks etc.

Preparedness:

- Establish and maintain sandbag reserves for emergency use.

Building/Surfaces:

- Seal/patch open and obvious cracks in exterior walls..
- Check window locks and open/close properly and easily. Lubricate hinges and locking mechanisms.

Roofing:

- Inspect roof systems for cracks, deterioration and/or openings.
- Check the roof for standing water (during the rainy season).
- Remove growing plant life.

Items recommended to be completed in October

Building/Surfaces:

- Window/door sealant protection.
- Inspect roof systems for cracks, deterioration and/or openings.
- Check for broken doors/windows.
- Check for signs of leaks.
- Check and test aging gas lines.

HVAC:

- Change the furnace filter.
- Maintain heat in storage & “abandoned” buildings.

Pipes/Gutters:

- Clear gutters of debris.
- Verify shut off valves are working properly.
- Insulate pipes before Winter begins.
- Identify and insulate pipes in areas where pipes are susceptible to freezing.

Plants/Trees:

- Prune trees and shrubs. Make sure they do not conduct moisture to the roof or siding.

Preparedness:

- Prepare for the predicted Winter season.

Items recommended to be completed in November/December

Pipes/Gutters:

- Inspect stormwater drains.
- Make sure the low water shut-off is functioning properly.

Building/Surfaces:

- Inspect locks/doors for weather proofing.
- Check pavement for cracks, fill cracks and apply seal coat.
- Check the condition of sidewalk, driveway, parking areas. Replace coating every 10 years

HVAC:

- Fire-test water heaters and boilers.
- Check furnace/heating units before winter use.
- Check/service carbon monoxide and smoke detectors.

Roofing:

- Check the roof for standing water (during the rainy season).
- Identify cracks on the roof.
- Seal perimeter of roof to prevent water intrusion (flat roofs, tar & gravel, foam roofing materials).